

North Shore Libraries

Ngā Whare Mātauranga o Te Raki Pae Whenua

Devonport Library Redevelopment

North Shore City Final Design Feedback

January 2010

Provided for

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Results analysed by



Project Summary

Devonport Library Redevelopment – Final Design Feedback

January 2010

The following report contains all the information necessary to understand the results of the Devonport Library Redevelopment – Preliminary Design Feedback.

Project Date

Public feedback required by November 30, 2009

Feedback Format

As developed by North Shore City Council
Provision of preliminary design concept – feedback encouraged.
Respondents able to complete feedback form (provided online at North Shore Libraries and at the Devonport Library).

Sample

Total of 275 feedback responses received.

All provided data considered including incomplete name/address respondents (minimal)

Results

Full analysis of quantitative (numeric) and qualitative (comments/suggestions) information.

Miscellaneous

All information is said to be “from those surveyed”, and represents only the above-described sample.
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Contact TouchPoll Auckland with questions regarding the analysis of these results.



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EXECUTIVE SUMMARY

275 feedback submissions were received and of those respondents 209 provided supporting commentary/written feedback of some form

Entrance & Exits

- 84.0% of contributing respondents were either “satisfied” (36.9%) or “very satisfied” (47.1%)
- 20 respondents commented, 6% of all comments made. Main area of comments (greater than 5 frequency);
 - “retain existing entrance” (3% of all respondents commented on this)

Shape & Height

- 69.4% of contributing respondents were either “satisfied” (34.3%) or “very satisfied” (35.1%)
- 43 respondents commented, 9% of all comments made. Main area of comments (greater than 5 frequency);
 - “too bulky/chunky/heavy” (7% of all respondents)
 - “too square / boxy” (4% of all respondents)
 - “too imposing” (3% of all respondents)

Position on Windsor Reserve

- 84.1% of contributing respondents were either “satisfied” (31.3%) or “very satisfied” (52.8%)
- 32 respondents commented, 9% of all comments made. Main area of comments (greater than 5 frequency);
 - “pleased it is in the same position” (5% of all respondents)
 - “good situation / location” (3% of all respondents)
 - “build library elsewhere” (4% of all respondents)
 - “build on wharf” (3% of all respondents)
 - “return reserve to grass” (3% of all respondents)

Location of Community Space

- 78.7% of contributing respondents were either “satisfied” (35.7%) or “very satisfied” (43.0%)
- 15 respondents commented, 4% of all comments made. No particular theme from comments.

Overall Preliminary Design

- 72.8% of contributing respondents were either “satisfied” (33.3%) or “very satisfied” (39.5%)
- 142 respondents commented, 64% of all comments made. Main area of comments (greater than 5 frequency);
 - Positive relating to satisfaction with overall design (16% of all respondents) and good utilisation of space (5%) and light (4%).
 - Negative relating to concerns around the outside appearance/look of the design (11% of all respondents), how well it fits with the Devonport Heritage feel (13%) and suggestions to try again with the design (5%).

➤

In summary all elements rated well from a satisfaction measurement with the majority of respondents in all instances being either very satisfied or satisfied with the specific elements. This was also true for the rating achieved for the overall preliminary design with 72.8% of respondents being very satisfied or satisfied with the proposed concept.

Satisfied / Very Satisfied	% Respondents	Positive Comments	Negative Comments	Suggestions
Positioning on Windsor Reserve	84.1%	25	32	0
Entrance & exits	84.0%	6	8	24
Location of Community space	78.7%	13	4	6
Shape & Height	69.4%	3	50	2
Overall preliminary concept	72.8%	147	140	116

Additional comments/feedback from respondents provided written support for the ratings given.

Whilst most comments were individual and did not achieve a high frequency amongst respondents, there are some key themes around the outside appearance of the building (too chunky/ugly, heavy, boxy, imposing) as well as it's design fit within Devonport. The % of respondents that commented on these particular areas as well as the lower rating achieved for the "shape & height" and "overall design" components of the survey indicate these could be explored further with the potential to improve respondents ratings in these areas and satisfaction with the overall design.

PRELIMINARY DESIGN – SATISFACTION RATINGS & COMMENTARY

Respondents were asked to rate their levels of satisfaction with regards to some key components of the preliminary design as well as providing an overall rating for the preliminary design. Respondents were also prompted in two areas to provide comments and/or additional comments.

Entrance and exits

Option	No. Respondents	% Respondents Answered	% Respondents
Very Dissatisfied	8	3.0%	2.9%
Dissatisfied	8	3.0%	2.9%
Neutral	26	9.9%	9.5%
Satisfied	97	36.9%	35.3%
Very Satisfied	124	47.1%	45.1%
No Comment / Not Answered	12	NA	4.4%
Respondents Answered	263	100.0%	NA
Total	275		100.0%

- Of the feedback responses 263 of the 275 respondents provided a satisfaction rating on the entrance and exits
- 84.0% of contributing respondents were either “satisfied” (36.9%) or “very satisfied” (47.1%) with this component of the design.
- 9.9% of respondents were “neutral” and only 6.0% were either “very dissatisfied” (3.0%) or “dissatisfied” (3.0%) with this component.
- 20 respondents provided 38 comments (average of 1.9 comments per contributing respondent) regarding the “entrance and exits” – this equates to only 7% of all respondents and the comments for this section represented 6% of all comments made.
- For both Negative and Positive comments there were no comments that achieved 5 or more frequency from respondents. The only comment of significance (ie higher than 5 respondents) was from 7 respondents (only 3% of all respondents) to “retain existing entrance”.

Entrance & Exits		Resp.	% Total Resp.
Suggestion	Retain existing entrance	7	3%

Shape & height of buildings

Option	No. Respondents	% Respondents Answered	% Respondents
Very Dissatisfied	32	12.1%	11.6%
Dissatisfied	20	7.5%	7.3%
Neutral	29	10.9%	10.5%
Satisfied	91	34.3%	33.1%
Very Satisfied	93	35.1%	33.8%
No Comment / Not Answered	10	NA	3.6%
Respondents Answered	265	100.0%	NA
Total	275		100.0%

- Of the feedback responses 265 of the 275 respondents provided a satisfaction rating on the shape and height of the building.
- 69.4% of contributing respondents were either “satisfied” (34.3%) or “very satisfied” (35.1%) with this component of the design. This is the lowest satisfaction rating of all the elements measured.
- 10.9% of respondents were “neutral” and 19.6% were either “very dissatisfied” (12.1%) or “dissatisfied” (7.5%) with this component.
- 43 respondents provided 55 comments (average of 1.3 comments per contributing respondent) regarding the “shape and height of buildings” – this equates to 16% of all respondents and the comments for this section represented 9% of all comments made.
- The comments made regarding “shape & height” were significantly negative with all 43 commenting respondents providing negative feedback and only 3 of them also providing something positive. Whilst all comments made were negative only 16% of all respondents did make comment here.
- The main comments of significance (ie higher than 5 respondents) are to do with the heaviness/squareness/bulkiness of the look of the building.
- For both Positive comments and Suggestions there were no comments that achieved 5 or more frequency from respondents.
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Shape & Height		Resp.	% Total Resp.
Negative	Too bulky / chunky /heavy	18	7%
Negative	Too square / boxy	10	4%
Negative	Too imposing	8	3%

Positioning of building on Windsor Reserve

Option	No. Respondents	% Respondents Answered	% Respondents
Very Dissatisfied	16	6.0%	5.8%
Dissatisfied	3	1.1%	1.1%
Neutral	23	8.7%	8.4%
Satisfied	83	31.3%	30.2%
Very Satisfied	140	52.8%	50.9%
No Comment / Not Answered	10	NA	3.6%
Respondents Answered	265	100.0%	NA
Total	275		100.0%

- Of the feedback responses 265 of the 275 respondents provided a satisfaction rating on the positioning of the building on Windsor Reserve.
- 84.1% of contributing respondents were either “satisfied” (31.3%) or “very satisfied” (52.8%) with this component of the design.
- 8.7% of respondents were “neutral” and only 7.1% were either “very dissatisfied” (6.0%) or “dissatisfied” (1.1%) with this component.
- 32 respondents provided 57 comments (average of 1.8 comments per contributing respondent) regarding the “positioning on Windsor Reserve” – this equates to 12% of all respondents and the comments for this section represented 9% of all comments made.
- Positive comments were focused on the satisfaction of the new library being located in the same position. Negative comments focussed on whether Windsor Park is the best location for the library with ongoing suggestions for alternative venues within Devonport for the new library.

Positioning on Windsor Reserve		Resp.	% Total Resp.
Positive	Pleased it's in same position	13	5%
Positive	Good situation / location	7	3%
Negative	Build library elsewhere	11	4%
Negative	Build on wharf	8	3%
Negative	Return Reserve to grass	8	3%

Level of satisfaction – location of Community space

Option	No. Respondents	% Respondents Answered	% Respondents
Very Dissatisfied	12	4.6%	4.4%
Dissatisfied	7	2.7%	2.5%
Neutral	37	14.1%	13.5%
Satisfied	94	35.7%	34.2%
Very Satisfied	113	43.0%	41.1%
No Comment / Not Answered	12	NA	4.4%
Respondents Answered	263	100.0%	NA
Total	275		100.0%

- Of the feedback responses 263 of the 275 respondents provided a satisfaction rating on the location of the Community space.
- 78.7% of contributing respondents were either “satisfied” (35.7%) or “very satisfied” (43.0%) with this component of the design.
- 14.1% of respondents were “neutral” and only 7.3% were either “very dissatisfied” (4.6%) or “dissatisfied” (2.7%) with this component.
- Only 15 respondents provided 23 comments (average of 1.5 comments per contributing respondent) regarding the “location of community space” – this equates to 6% of all respondents and the comments for this section represented 4% of all comments made.
- There were no comments that achieved 5 or more frequency from respondents and the highest comments made with frequencies of 4 & 3 were positive feedback regarding this area.

Community Space		Resp.	% Total Resp.
Positive	Looks good / attractive	4	1%
Positive	Valuable asset to the library	3	1%

Level of satisfaction – overall preliminary concept

Option	No. Respondents	% Respondents Answered	% Respondents
Very Dissatisfied	41	15.7%	14.9%
Dissatisfied	18	6.9%	6.5%
Neutral	12	4.6%	4.4%
Satisfied	87	33.3%	31.6%
Very Satisfied	103	39.5%	37.5%
No Comment / Not Answered	14	NA	5.1%
Respondents Answered	261	100.0%	NA
Total	275		100.0%

- Of the feedback responses 261 of the 275 respondents provided a satisfaction rating on the overall preliminary concept
- 72.8% of contributing respondents were either “satisfied” (33.3%) or “very satisfied” (39.5%) with this component of the design.
- 4.6% of respondents were “neutral” and 22.6% were either “very dissatisfied” (15.7%) or “dissatisfied” (6.9%) with this component.
- 142 respondents provided 412 comments (average of 2.9 comments per contributing respondent) regarding the “overall preliminary design” – this equates to 52% of all respondents and the comments for this section represented 64% of all comments made.
- Positive comments were high with good written support for the overall design with respondents appreciating the layout within the library as well as the light, windows and airiness that the building will provide.
- Negative comments were primarily made in relation to the “outside design / perspective” of the building and concern about it’s “fit” with the Devonport Heritage feel.
- 116 “suggestions” were provided with the only one receiving 5 or more comments being “include a cafe”.

Overall Preliminary Design		Resp.	% Total Resp.
Positive	Looks good / satisfied with design	43	16%
Positive	Good library space utilisation internally	14	5%
Positive	Good use of light	11	4%
Positive	In keeping with environment	9	3%
Positive	Like reading courtyard	6	2%
Positive	Open & airy	5	2%
Positive	Large windows are great	5	2%
Negative	Not in keeping with Devonports Heritage look & feel	35	13%
Negative	Don't like architectural look / outside appearance / ugly	30	11%
Negative	Could be better / Try again	14	5%
Negative	Too severe / austere	7	3%
Negative	Too much concrete	7	3%
Negative	Not sure about new deck & reading area	6	2%
Negative	Not eco friendly enough	6	2%

OPEN COMMENTARY

As already illustrated in the report summary, comments were provided and analysed in order to provide supportive feedback for the key components of the design that were rated with the satisfaction scale;

- The comments fell into different categories of inference...
 - Negative (against some component of the design)
 - Positive (supportive of the design or components)
 - Suggestions (provision of considerations for future development)
 - Questions (clarification of some areas needed)
- A total of 238 specific comments were quantified and a total of 647 contributions of these comments were made by respondents. The comments were analysed and only one frequency per respondent of any of the comments were counted (ie if they mentioned the same thing twice it was only counted once).
- The comments have been analysed based on these clear segments with focus on elements with 5 or more frequencies per comment (less than 5 comments are catered for in the statistics and presented in full in the appendix).
- Of the 647 comments provided, 235 (36%) were mentioned in the Top 13 comments with the Top 3 comments accounting for 17% of all comments – “Looks good / satisfied with design” (43 respondents), “Not in keeping with Devonport’s Heritage look & feel” (35 respondents) and “Don’t like architectural look / outside appearance / ugly” (30 respondents).

Top Comments		Resp.	% Total Resp.
Overall Preliminary Design	Looks good / satisfied with design	43	16%
Overall Preliminary Design	Not in keeping with Devonports Heritage look & feel	35	13%
Overall Preliminary Design	Don't like architectural look / outside appearance / ugly	30	11%
Shape & Height	Too bulky / chunky /heavy	18	7%
General	Bring it on / looking forward to it	14	5%
Overall Preliminary Design	Could be better / Try again	14	5%
Overall Preliminary Design	Good library space utilisation internally	14	5%
Positioning on Windsor Reserve	Pleased it's in same position	13	5%
General	Nothing wrong with existing library / Keep existing library and don't upgrade	12	4%
Overall Preliminary Design	Good use of light	11	4%
Positioning on Windsor Reserve	Build library elsewhere	11	4%
General	Will be a great asset	10	4%
Shape & Height	Too square / boxy	10	4%

- These top comments highlight a mix of responses that closely support the satisfaction ratings given. All areas scored well and those that scored the lowest (“shape & height” and “overall preliminary design”) are backed by the supporting commentary highlighting the areas respondents were not so happy with. It should be noted that even the lowest scoring components still had very strong support.

General Comments

A number of “general” comments were made which were classified as such as they did not impact (positively or negatively) on any of the key elements but should be included as recognition of the respondents thoughts and acknowledgements.

The largest number of respondents in this area were looking forward to the new library getting underway but were matched by those happy to keep the existing library.

General	
Bring it on / looking forward to it	14
Nothing wrong with existing library / Keep existing library and don't upgrade	12
Will be a great asset	10
A lot of time & thought has been spent getting everything right	5
Well done	5

APPENDIX

Commentary by Element

Positioning on Windsor Reserve

Positioning on Windsor Reserve		Resp.	% Total Resp.
Positive	Pleased it's in same position	13	5%
Positive	Good situation / location	7	3%
Positive	Good use of site	2	1%
Positive	Unique location	1	0%
Positive	Great views	1	0%
Positive	Excellent location to serve community as whole	1	0%
Negative	Build library elsewhere	11	4%
Negative	Build on wharf	8	3%
Negative	Return Reserve to grass	8	3%
Negative	Build into Victoria Building	4	1%
Negative	Using current footprint limits design	1	0%

Shape & Height

Shape & Height		Resp.	% Total Resp.
Positive	Like shape as an overall envelope	1	0%
Positive	Will provide wind shelter to street with the height increase	1	0%
Positive	Love the exterior	1	0%
Negative	Too bulky / chunky /heavy	18	7%
Negative	Too square / boxy	10	4%
Negative	Too imposing	8	3%
Negative	Looks like a bunker	3	1%
Negative	Too dominating	3	1%
Negative	Large empty areas to heat	2	1%
Negative	Looks like container terminal	2	1%
Negative	Too industrial looking	1	0%
Negative	Looks like truncated tram	1	0%
Negative	Looks like 50's & 60's communist design	1	0%
Negative	King Edward Parade frontage too overbearing	1	0%
Suggestion	Prefer alternative façade from model	1	0%
Suggestion	Make it more modest and not so tall	1	0%

Entrance & Exits

Entrance & Exits		Resp.	% Total Resp.
Positive	Good & user friendly	2	1%
Positive	Well sheltered entrance from exposure to wind	1	0%
Positive	Good flow to courtyard	1	0%
Positive	Good to see second entrance / exit to park	1	0%
Positive	Verandah echoes other local buildings well	1	0%
Negative	Not clear on plan	3	1%
Negative	Do not retain current portico	1	0%
Negative	Entrance not aligned with pedestrian crossing and road design	1	0%
Negative	Glass walkway looks like an after thought	1	0%
Negative	Entrance design doesn't relate to older buildings	1	0%
Negative	Don't like verandah supports	1	0%
Suggestion	Retain existing entrance	7	3%
Suggestion	Entrance should provide more shelter	4	1%
Suggestion	Need to keep glass clean	3	1%
Suggestion	Make entrance larger	2	1%
Suggestion	Only one entrance / exit - need more	1	0%
Suggestion	Entrance needs to stand out more	1	0%
Suggestion	Slop verandah	1	0%
Suggestion	Use different materials for the verandah	1	0%
Suggestion	Incorporate separate staff & goods entry	1	0%
Suggestion	More entrance options	1	0%
Suggestion	Move entrance to crn Victoria Rd or King Edward Parade	1	0%
Suggestion	How is library open & shut before & after hours?	1	0%

Community Space

Community Space		Resp.	% Total Resp.
Positive	Looks good / attractive	4	1%
Positive	Valuable asset to the library	3	1%
Positive	Good to be able to use separately	2	1%
Positive	Accessibility from entrance is good	1	0%
Positive	Good side street access	1	0%
Positive	Logical location within library	1	0%
Positive	Library security maintained	1	0%
Negative	Not keen on shape or layout	1	0%
Negative	Suggest trees / playground outlook	1	0%
Negative	Too many rows of seats	1	0%
Negative	Too small	1	0%
Suggestion	Should be on South side - doesn't need views / sun	1	0%
Suggestion	Is this necessary - could use space for more books	1	0%
Suggestion	Include blinds for privacy in this area	1	0%
Suggestion	Provide separate outside entrance to this area	1	0%
Suggestion	Include large folding doors into library	1	0%
Suggestion	Separate entrance for community space	1	0%

Overall Preliminary Design

Overall Preliminary Design		Resp.	% Total Resp.
Positive	Looks good / satisfied with design	43	16%
Positive	Good library space utilisation internally	14	5%
Positive	Good use of light	11	4%
Positive	In keeping with environment	9	3%
Positive	Like reading courtyard	6	2%
Positive	Open & airy	5	2%
Positive	Large windows are great	5	2%
Positive	Beautifully designed	4	1%
Positive	Good job done with the limitations	4	1%
Positive	Great views	4	1%
Positive	Mezzanine is a good idea	4	1%
Positive	Looks Nice	3	1%
Positive	Fits with adjacent buildings	3	1%
Positive	Fits space well / unobtrusive	3	1%
Positive	Plenty of glass	3	1%
Positive	Nice heritage elements	2	1%
Positive	Big improvement on existing library	2	1%
Positive	Good combination of modern and old	2	1%
Positive	Fits well with rest of Devonport	2	1%
Positive	Like Korus	1	0%
Positive	Improvement on current	1	0%
Positive	Like colours	1	0%
Positive	Very accessible	1	0%
Positive	Good that is has involved a heritage designer	1	0%
Positive	Eco star rating will pay off in the long term / good to see	1	0%
Positive	Like similarity to Esplande Hotel	1	0%
Positive	Modern	1	0%
Positive	Pleased original footprint has been used	1	0%
Positive	Like outdoor deck	1	0%
Positive	Like NZ themes	1	0%
Positive	Removal of ridges is a big improvement	1	0%
Positive	Like the clean lines	1	0%
Positive	Modern & practical	1	0%
Positive	Pleased Rotunda won't be affected	1	0%
Positive	Fresh & classy looking	1	0%
Positive	Looks good functionally	1	0%
Positive	Looks practical	1	0%

Overall Preliminary Design continued...

Overall Preliminary Design		Resp.	% Total Resp.
Negative	Not in keeping with Devonports Heritage look & feel	35	13%
Negative	Don't like architectural look / outside appearance / ugly	30	11%
Negative	Could be better / Try again	14	5%
Negative	Too severe / austere	7	3%
Negative	Too much concrete	7	3%
Negative	Not sure about new deck & reading area	6	2%
Negative	Not eco friendly enough	6	2%
Negative	Exterior will date quickly	4	1%
Negative	Design torn between contemporary & heritage	3	1%
Negative	Not future proofed enough	3	1%
Negative	Too much glass	3	1%
Negative	Windows too large	3	1%
Negative	Too modern	2	1%
Negative	Unfriendly looking	2	1%
Negative	Lacking in character	1	0%
Negative	Do not retain current portico	1	0%
Negative	Fern leaf design too large	1	0%
Negative	Don't like modern geometric cladding	1	0%
Negative	1960's style	1	0%
Negative	Looks too much like Birkenhead library	1	0%
Negative	Don't like Eastern wall decorations	1	0%
Negative	Stark	1	0%
Negative	Design goes against district plan	1	0%
Negative	Plans not clear	1	0%
Negative	A lot of empty space	1	0%
Negative	Outside area too shady & windy - won't be used	1	0%
Negative	Not contemporary enough	1	0%
Negative	Don't like the roof	1	0%
Negative	Will get too hot	1	0%

Question	Will carparking be maintained? Make sure we don't lose any	2	1%
Question	Will there be too much shade encouraging moss?	1	0%
Question	Why children's library not moved to seminar room?	1	0%
Question	Where is newspaper & periodicals area?	1	0%
Question	Is there enough space to increase the amount of books?	1	0%
Question	Will there still be staff carparking?	1	0%
Question	Would like to understand eco inclusions better	1	0%
Question	Will this go ahead with the supercity changes?	1	0%

Overall Preliminary Design continued...

Overall Preliminary Design		Resp.	% Total Resp.
Suggestion	Include a café	5	2%
Suggestion	Maintain bike stands / ensure there are bike stands	4	1%
Suggestion	Screen children's area to try to reduce noise	4	1%
Suggestion	Provide wireless internet	3	1%
Suggestion	Provide quiet space for studying	3	1%
Suggestion	Make more of North facing wall	3	1%
Suggestion	Open design up to competition	3	1%
Suggestion	More windows into Victoria & Flagstaff walls	3	1%
Suggestion	Reflect villa roof pitch from current building & surrounding bu	2	1%
Suggestion	Consider use of brick or wood	2	1%
Suggestion	More windows	2	1%
Suggestion	Include internal toilet access	2	1%
Suggestion	Needs to be distinctive, original & elegant	2	1%
Suggestion	Design needs softer lines	2	1%
Suggestion	Use different roof pitches	2	1%
Suggestion	Allow mezanine extension in future	2	1%
Suggestion	Include a verandah	2	1%
Suggestion	Would be good to include conference / meeting room to gene	2	1%
Suggestion	Ensure there are offices for librarians to meet	2	1%
Suggestion	Is this building tsunami safe?	2	1%
Suggestion	Colours should be dark brown, green	1	0%
Suggestion	No removal of trees please	1	0%
Suggestion	A marine motif on side of building would add a personal Devc	1	0%
Suggestion	Design should compliment / align with Devonport heritage bu	1	0%
Suggestion	Position photocopiers / printer to cover whole library	1	0%
Suggestion	Sign posts in various languages for tourists	1	0%
Suggestion	Let in more sunlight	1	0%
Suggestion	Less of a concrete / brick façade	1	0%
Suggestion	Colours should be eco & muted	1	0%
Suggestion	Utilise flat roof for café / seating	1	0%
Suggestion	Do not concrete grass area in front	1	0%
Suggestion	Front façade needs to be more Edwardian	1	0%
Suggestion	Increase size - you only get one chance	1	0%
Suggestion	Make sure you consult with the librarians	1	0%
Suggestion	Improve link between children's area and outdoor courtyard	1	0%
Suggestion	Have glass walls like Takapuna	1	0%
Suggestion	Public toilet signs	1	0%
Suggestion	Would like to see more contemporary design	1	0%
Suggestion	Cover deck area	1	0%
Suggestion	Children's area should include computers for sole use	1	0%
Suggestion	Internet space should be adults only (and preference to ratep	1	0%
Suggestion	Move band rotunda to outside community space	1	0%
Suggestion	Make footprint smaller	1	0%
Suggestion	Make full use of height inside for holding books	1	0%

Overall Preliminary Design continued...

Overall Preliminary Design		Resp.	% Total Resp.
Suggestion	Remove Pohutakawas	1	0%
Suggestion	Have mezanine overlook the reserve & harbour	1	0%
Suggestion	Make sure there are more books	1	0%
Suggestion	Make sure outdoor area is kept clean	1	0%
Suggestion	Design needs to fit with Victorian style	1	0%
Suggestion	Needs to look more open, friendly, pleasant	1	0%
Suggestion	Place noisy areas in the mezanine	1	0%
Suggestion	Design too small	1	0%
Suggestion	Don't have children's area in large window space	1	0%
Suggestion	Ensure good wind protection	1	0%
Suggestion	Ensure toilets are available after hours	1	0%
Suggestion	Mezanine should encircle lift allowing stair space to be added	1	0%
Suggestion	Extend ground floor & mezanine	1	0%
Suggestion	Include browsing area with comfortable seats & latter dispensers	1	0%
Suggestion	Include fresh air ventilation - not just air conditioning	1	0%
Suggestion	Internet & electronic spaces not large enough	1	0%
Suggestion	Get architect students involved in outside design	1	0%
Suggestion	No rates increase because of upgrade please	1	0%
Suggestion	Study space in junior area	1	0%
Suggestion	Designated space for 9-12 yr olds as have different reading needs	1	0%
Suggestion	Use whole of second floor not just a mezanine	1	0%
Suggestion	Would help to have large print section up higher off the floor	1	0%
Suggestion	Make mezzanine bigger	1	0%
Suggestion	Space for more toilets	1	0%
Suggestion	Plan children's area carefully - screened off, low tables & chairs	1	0%
Suggestion	Minimise wind effect	1	0%
Suggestion	Soften the outside look	1	0%
Suggestion	Colours must fit with Devonport	1	0%
Suggestion	Use stone instead of bricks/concrete	1	0%
Suggestion	Toilets to <u>not</u> be unisex or smaller than current	1	0%
Suggestion	Move reading court away from southern side	1	0%
Suggestion	Windsor might be best option for library but is library best option	1	0%
Suggestion	Incorporate outside play area next to children's section	1	0%
Suggestion	Consider reviewing total reserve area with best options considered	1	0%
Suggestion	Don't make the library about the views	1	0%
Suggestion	Ensure local Maori are consulted	1	0%
Suggestion	Victoria Rd external treatment should be continuous	1	0%
Suggestion	Ensure architects for this project & Marine Square work together	1	0%
Suggestion	New architecture needs to signify allegiance to it's contemporary	1	0%
Suggestion	Include use of double-glazed "frosted" translucent glass	1	0%

General

General	
Bring it on / looking forward to it	14
Nothing wrong with existing library / Keep existing library and don't upgrade	12
Will be a great asset	10
A lot of time & thought has been spent getting everything right	5
Well done	5
Pleased café has <u>not</u> been included	4
Long overdue	2
It will be great	2
Speed the process up	2
Congratulations	1
Overdue for a makeover	1
Evening talk by architect was good	1
Anything is better than what is there now	1
Commend Brenda Rawson & The Architecture Office team	1



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DEVONPORT LIBRARY DESIGN REVIEW

INTRODUCTION

In late 2008 Salmond Reed Architects Limited (SRA) was commissioned by North Shore City Council to provide heritage advice and guidelines to assist with the redevelopment of the existing Devonport Library. These guidelines are attached in **Appendix 1**.

For its part, Council asked that as much of the existing building as possible be retained, that the new building avoid a 'renovated' appearance and that an 'old style' building would not be appropriate.

A preliminary concept design for the Library was prepared by *archoffice* with reference to these guidelines and SRA reviewed this in September 2009, drawing on discussions and a site visit with architect Brendan Rawson of *archoffice*.

In early 2010 planning consultants were briefed to prepare an *Assessment of Environmental Effects* in support of a *Notice of Requirement* application to North Shore City Council, and as the drawings have been amended slightly they have been referred back to SRA for comment.

The following assessment is based on the concept design drawings listed below, all dated March 2010; and contained in **Appendix 2**

A100B Land Affected by Notice of Requirement
A101C Earthworks Plan, Comparison of Building Footprints and Development Plan
A102 Tree Plan
A200 Existing Floor Plan
A201B New Ground Floor Plan
A202A New Mezzanine Floor Plan
A310 Section
A321A New Elevations
A322A Comparison of New and Existing Building Heights Showing Maximum Height Infringements
Photomontages, showing all elevations.

In the Analysis that follows, the relevant guidelines are identified in ***bold italics***, followed by an assessment of the proposal against each criterion.

CONTEXT FORM AND SCALE

The building should address the street and the design celebrate the Victoria Road / Kind Edward Parade corner architecturally.

The new library stands 8.3m tall along its principal Victoria Street façade and is of similar, although not identical, height to the shops opposite. The façade of the library, the street trees and the shops enclose and contain the streetspace, which is further defined by the

Esplanade Hotel which, with the Library, are 'entry portal' buildings for Devonport, viewed from the waterfront and ferry terminal.

The existing and new building footprint are almost identical, but they differ in important ways

The existing building follows the Victoria Road and King Edward Parade site boundaries, but is stepped back from the boundary before meeting the gabled ended south west façade which is angled to the corner. This plan coupled with angled roof planes addresses the street and presents a relatively small wall area to the corner. (see **Appendix 1** for photo).

The new building is cut back perpendicular to Victoria Rd presenting a 'blunt corner' to this facade and a much larger area of corner wall than existing. This spatial arrangement misses the opportunity to maximise internal floor space and celebrate the corner, which could be enhanced by extending the floor plate into the corner and 'rounding it off' or faceting it in plan. (see **Appendix 2** for plans and photomontages).

In addition the wrapping of the 'traditional' front façade (or a simplified or modified version of this) around the corner would serve to visually anchor the library while providing an important architectural transition between the 'traditional' Victoria Road façade and the more 'contemporary' King Edward Parade façade.

Historically, corner buildings often enthusiastically celebrated corners with principal entrances, towers, turrets, parapets and additional decoration. The nearby Esplanade Hotel ably illustrates the application of these principles.

BUILDING DESIGN

The building should be designed as a whole with no distinct fronts or backs.

The various faces of the building are differentiated architecturally to reflect their differing settings. Hence, the traditionally inspired Victoria Road façade responds to its immediate context, while the other walls, which are of a more contemporary design, largely reflect the patterns generated by clearly articulated floor levels and window openings of various sizes and scale. A lighter glazed ground floor is surmounted by a more substantial and solid first floor, with both levels punctured by large windows dispersed around the building perimeter. This opens the building and integrates it with its incomparable setting to reveal glimpses of the interior.

The new library should be a building of its time, but reflect its context. The building façades should be modulated to provide a human scale and the roof form should be a minor element of the design. This is not the site for a 'prima donna' stand alone building which aggressively proclaims its presence.

The *archoffice* design has carefully considered the character and proportions of the commercial buildings opposite and has responded to them with a design which acknowledges and complements them. This is evident in the manner in which it reflects the traditional ground floor / verandah / upper floor hierarchy of Victorian and Edwardian shops. The ground floor of the Victoria Road façade comprises a horizontal brick wall with glazed openings and canopy. The upper floor is punctured by regularly spaced window openings set in a sculpted

horizontal band which may be seen as an allusion to the modelling of the masonry heritage buildings opposite. The roof is entirely concealed behind the parapet which extends around the perimeter of the building.

The ground and upper floors are visually connected by a shallow horizontal 'eyebrow' which extends over the main entry and community space area before returning down the wall as a vertical element. The glazed canopy is slung below the 'eyebrow' and extends along the entire length of the building. It is presumed that this canopy is intended to shelter pedestrians from the weather, but its location on the western façade will limit its utility for this purpose as it will be exposed to the prevailing south westerlies.

The glass roof of this canopy is potentially problematic because of the dense overhanging tree growth adjacent to the building – pohutukawa trees in particular.

Entry

Public buildings need clear visual cues to signal main entranceways and the proposed design attempts to achieve this through changes to the fenestration over the main doors. This has the benefit of allowing pedestrian glimpses into the library and mezzanine. In other respects, however, the entrance is too recessive and insufficiently differentiated to achieve its formal objective within the façade.

The entry could be visually strengthened with an extended canopy element – perhaps raised above the presently proposed glazed canopy. Further emphasis could also be given by raising the parapet in the manner used in the buildings opposite, where cornices and decorative parapets are used to articulate the silhouette and to emphasise façade elements and entry points. Raising the parapet on the new library over the entrance would provide a similar and sympathetic design response to the existing shops, and relieve the otherwise uniform profile of the new façade.

Materials

The new design draws on a limited palette of materials – patterned precast concrete panels, brick and glass. These in combination convey an appropriate sense of permanence and solidity. Colours are not indicated on the drawings but discussions with the architect indicate these are to be muted and restrained, with the Victoria Road façade finished in colours which acknowledge and reflect those used on the commercial buildings opposite.

Proposed External works

This site has been used for civic and library purposes since 1886 and the new library will be well integrated into its site through paving and landscaping along Victoria Road, together with a new outdoor reading court which has been designed to extend under the trees to the east.

CONCLUSION

The library is demonstrably a building of its time, interpreting traditional elements of the Victoria Road shops in a contemporary manner which respects and enhances its context and the rich history and associations of Devonport.

It substantially meets the guideline criteria developed earlier, subject to further consideration being given to some aspects of the design.

- **It is recommended** that further consideration be given to the Victoria Road / King Edward Parade corner, both in plan and façade treatment to better integrate the façades and celebrate this corner as an important entry portal to Devonport.
- **It is recommended** that further consideration be given to the design of the main entrance to the library to more emphatically signal this within the façade and to provide a greater level of shelter.

Salmond Reed Architects

May 2010



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DEVONPORT LIBRARY REDEVELOPMENT HERITAGE ADVICE

INTRODUCTION

Heritage advice has been sought by Project Services, North Shore City Council to assist with the redevelopment of the existing Devonport Library. Plans provided (and appended to this document) include the existing floor plan and the new enlarged floor plan designed by The Architecture Office indicating that redevelopment will occur more or less within the existing building envelope, with some additions and subtractions to the floor plate.



Figure 1 – Devonport Public Library 2008, alterations by Grant Group Architects 1989

Since its opening in 1954 the library has had at least two 'makeovers' and Council asks that the new redevelopment retain much of the existing building and that the final design be cohesive, avoiding the appearance of a structure that has been 'renovated' at various times. It is not envisaged that an 'old style' building would be appropriate.

The Council's brief posed 3 questions which are outlined below in ***bold italics***:

CONTEXT AND DESIGN

The library occupies a prominent corner site on the Victoria Road / King Edward Parade corner and is an integral part of the Devonport shopping centre. Together with the Esplanade Hotel (1903), the library forms a gateway to Devonport.

Devonport Borough Council was created in June 1886 but it was not until July 25th of the following year that the Mayor and Councillors met in their new Council Chambers on the site of the present library, (then called Marine Square).

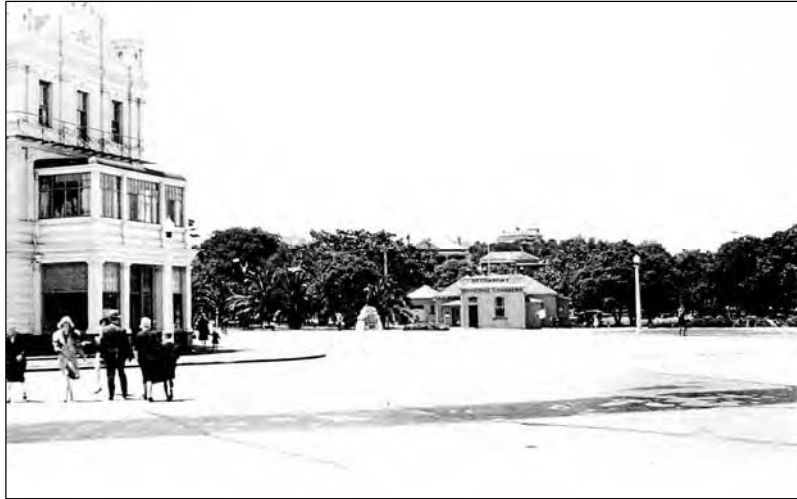


Figure 2 – Devonport 1930's showing 1886 Council Chambers. Photo courtesy Mrs M.J. Walters



Figure 3 – The new Library 1954



Figure 4 – And later on...

This earlier building was designed by Edward Bartley as a Jubilee memorial commemorating Queen Victoria's Jubilee and included a reading room, a precursor to the present library. The Council Chambers proved too small almost immediately and the first Council meeting resolved to add two smaller rooms to the building *for greater convenience in conducting Council business.*

In 1954 the timber Council Chambers were demolished and a new library and Plunket Rooms built on the site.

THE SHOPPING STRIP

The Victoria Road shops are similar to many suburban shopping centres constructed around the turn of the century. In Devonport the centre comprises buildings of varying ages, which nevertheless have a number of consistent and coherent characteristics. Of Italianate style they are built to the street, 2 storeys high with the upper level living accommodation. Plastered brick walls convey an image of solidity and permanence.



Figure 5 - Victoria Road shops.

Roofs are concealed behind solid or pierced parapets and the facades have a low window to wall ratio at the upper levels, with large glass shop windows and recessed entry porches and verandahs to street level. Shop displays provide a visually interesting and active retail edge.

Should the building design reflect adjacent elements or is it sufficiently separated to be a stand alone design ?.

The library is a gateway building for Devonport, closely related to the shopping strip on the opposite side of the Victoria Road and since 1886 has been occupied by civic buildings.

As part of the commercial / civic focus for the suburb its design should seek inspiration from and reflect the vocabulary and design elements used in the shops.

These elements should be interpreted in a contemporary manner, the new library needs to be a building of its time, but respecting and enhancing its context and the rich history and associations of Devonport.

This is not the site for a '*prima donna*' stand alone building which aggressively proclaims its presence.

Form and scale of the new building

The new library should be designed to address the street, extending to the street boundaries as it presently does.

The proposed plan shows the existing 'nose' of the building to the Victoria Road / King Edward Parade corner cut back and the corner wall flattened. This increases the street space at the expense of potentially useable internal space and misses the opportunity to celebrate the corner architecturally.

Historically, principle entrances for corner buildings were nearly always on the corner and were enthusiastically celebrated with towers, turrets, elaborate entrances and parapets, secondary entrances were located along the side streets.

The library has until comparatively recently followed this principle, the nearby Esplanade Hotel still retains its corner entry. It is understood that the corner entry for the library was relocated to Victoria Road to move it away from the prevailing wind and to orient and better integrate it with Victoria Road.

It is not considered necessary or desirable to use the corner as an entrance but the opportunity to celebrate it architecturally should be taken.

Considering the overall design, the library needs to be designed *in the round*, because it is seen from all sides, with no marked distinction between 'fronts' and 'backs'.

The building facades should be horizontally and vertically modulated to provide a human scale.

The roof form should be a minor element of the design. The existing roof elements including the internal 'lantern' and Victoria Road entrance canopy with their steeply pitched roofs which borrows heavily from the domestic vernacular could be removed and replaced with similar elements integrated into the final design.

Primary and secondary materials appropriate for the library

It is difficult to provide firm recommendations on materials when the 3D design of the Library has not been completed but drawing on the materials used for the adjacent shops a small range of materials could be used to convey solidity and permanence.

Council wishes to make fairly extensive use of glass to provide views through the library to the park, street and harbour, however glass should not be considered as a dominant facade material but as a counterpoint to the solidity of the walls. A hierarchy of building elements and materials should be evident in the final design.

Finally, building colour is a significant element of the streetscape and context. The plastered frontages of the Victoria Road shops were built to be durable and long lasting but would not, originally, have been painted.

In Auckland's humid climate, plaster becomes a dull weathered grey and facades have often been repainted to 'improve' their appearance.

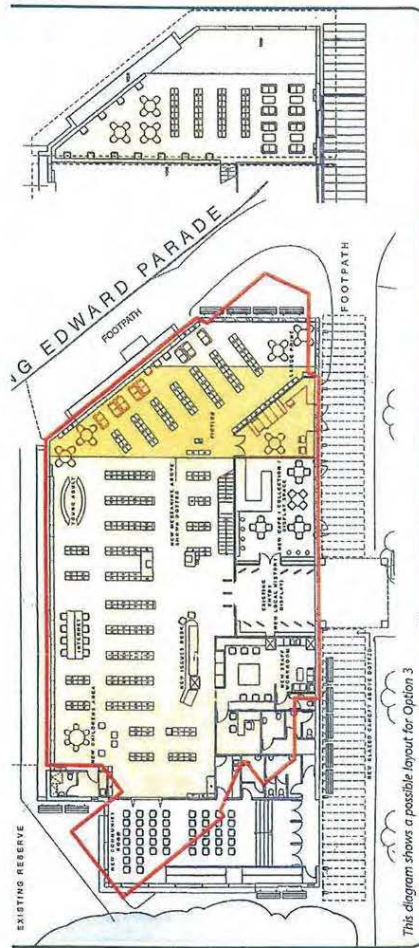
The used of muted colours is suggested for the new library, bright and / or primary colours used without restraint lack the subtlety of the original palette used in the Victoria Road shops.

Richard Bollard
Senior Heritage Consultant
Salmond Reed Architects

November 5th 2008



Figure 6 – Devonport Municipal Chambers and staff



Option 3: Major building and service upgrade

This option would involve adding a mezzanine level and an extended space for library activities, community meetings and events. It would mean enlarging the building's "footprint", in the concrete area to the left of the current public toilets.

This option would give a flexible design, both inside and out, that could be adapted to future needs.

Plans for this option include applying environmentally sustainable design principals to reduce energy use in the long term and provide a better environment for people. It would also include all the work outlined in Option 1.

Option 3 could also be staged over several years. This would mean a higher cost, but spread over longer time, which may better suit funding requirements.

Advantages

- A full makeover of the building, inside and out, to create a well-designed and attractive public building
- Library activity/community/event/display space with kitchenette and toilet
- Improved spaces for young adults and children
- Improved staff areas
- Greatly improved sea views
- A mezzanine level
- Quiet study space
- Dedicated space for local history/heritage
- Room to include extra display/collection space or a cafe
- Improvement in meeting needs of library users
- A "destination" building for visitors and tourists
- "Future-proofing" - a flexible layout that could be adapted to future needs
- Could be staged over several years (higher cost, but cost spread over longer time)

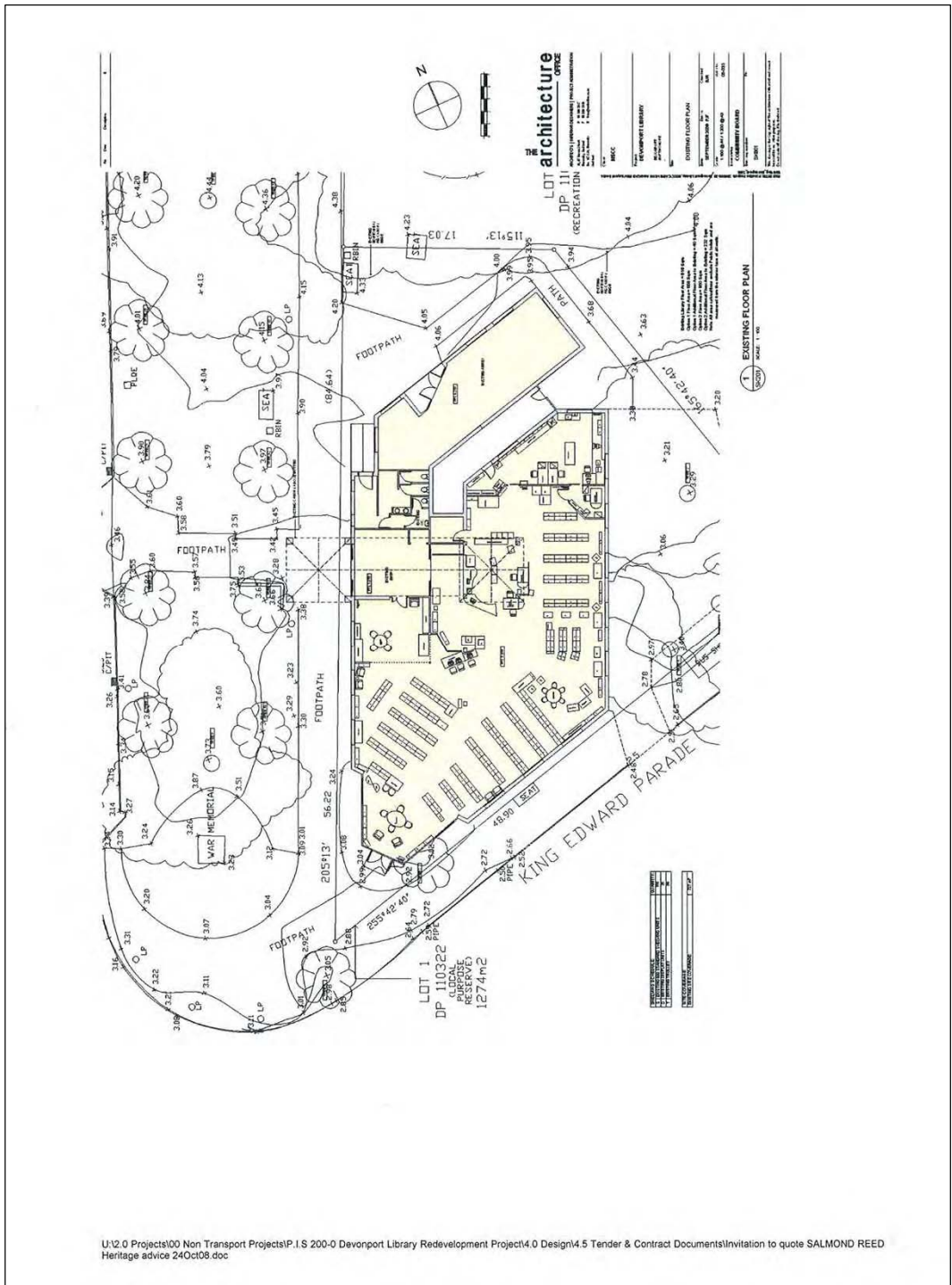
Disadvantages

- More complex planning process required
- Budget shortfall
- Wider and higher facade on Victoria Rd

Library floor space: 850m²
Building footprint: 805m²
(78m² increase)

Cost: \$3.7m

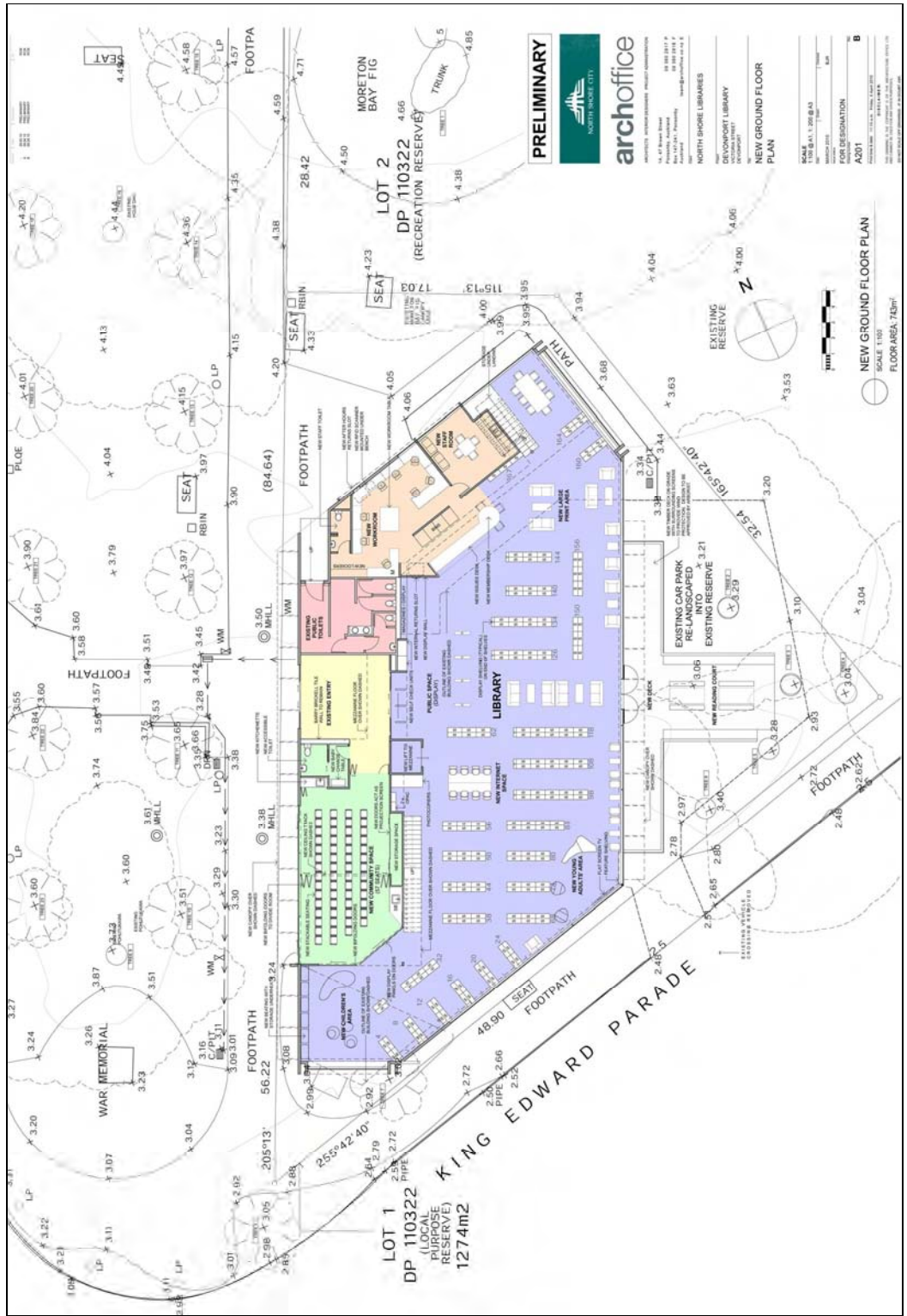
Staged over three years: \$4.2m

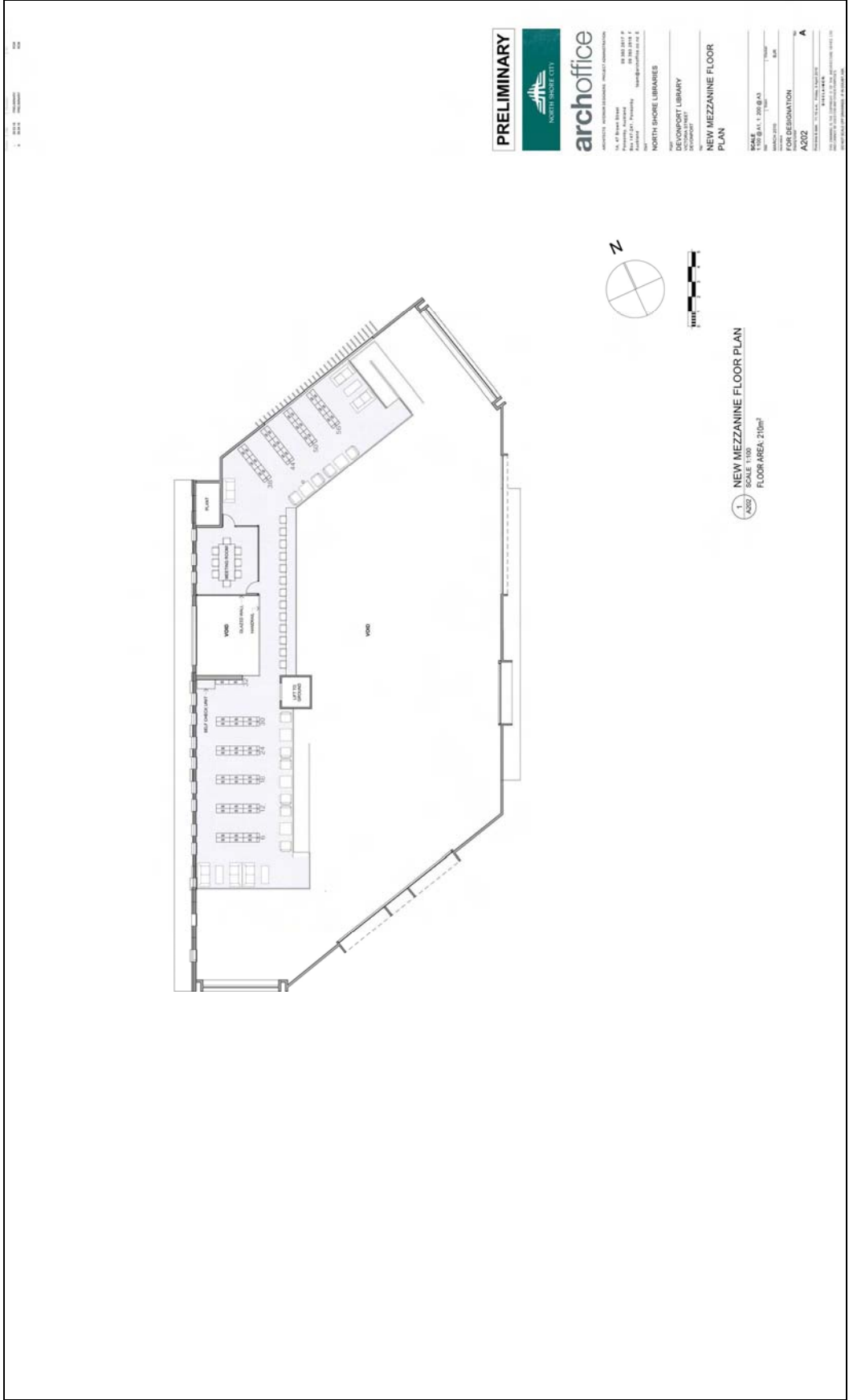


U:\12_0 Projects\00 Non Transport Projects\P.I.S 200-0 Devonport Library Redevelopment Project\4.0 Design\4.5 Tender & Contract Documents\Invitation to quote SALMOND REED Heritage advice 24Oct08.doc

APPENDIX 2







PRELIMINARY

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NORTH SHORE LIBRARIES

NEW DEVONPORT LIBRARY
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 DEVONPORT TAS 7310

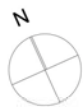
NEW MEZZANINE FLOOR PLAN

SCALE
 1:500 B.A.1, 1:200 B.A.2

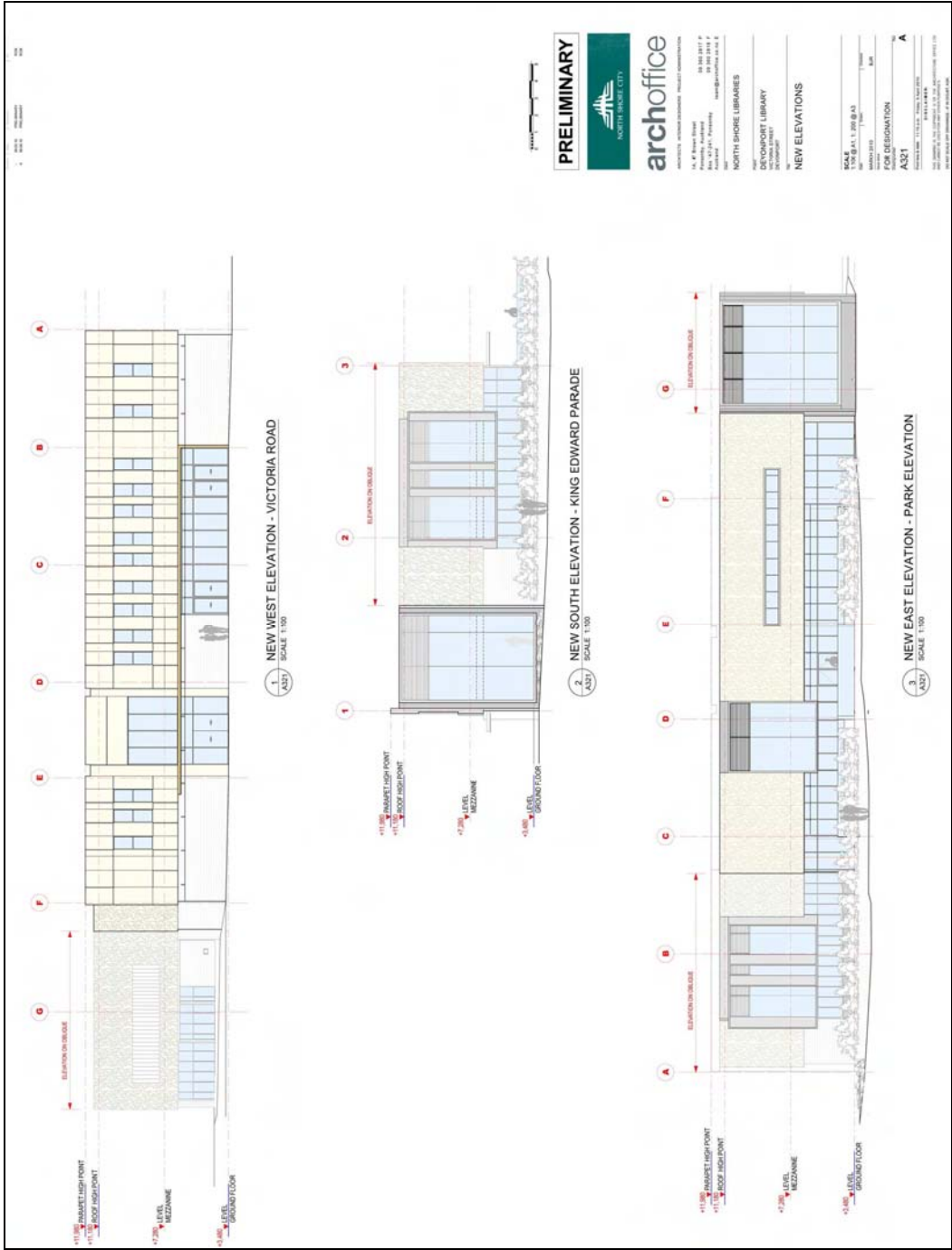
DATE
 15/08/2017

FOR DESIGNATION
 A202

PROJECT NO.
 17/00000



1 NEW MEZZANINE FLOOR PLAN
 SCALE 1:100
 FLOOR AREA 210m²



PRELIMINARY

archoffice
NORTH SHORE LIBRARIES

PROJECT: DEVONPORT LIBRARY REDEVELOPMENT
 PROJECT NO: 18-001-0117-R
 DRAWING NO: 18-001-0117-R-01
 DATE: 18/08/2018

NORTH SHORE LIBRARIES
 DEVONPORT LIBRARY
 100 VICTORIA ROAD
 DEVONPORT TAS 7310

NEW ELEVATIONS

SCALE
 1:100 (A3)
 1:50 (A4)

FOR DESIGNATION
 A3/21

DATE
 18/08/2018

BY
 [Signature]

CHECKED BY
 [Signature]

DATE
 18/08/2018

PROJECT NO
 18-001-0117-R

DRAWING NO
 18-001-0117-R-01

DATE
 18/08/2018

SCALE
 1:100 (A3)
 1:50 (A4)

FOR DESIGNATION
 A3/21

DATE
 18/08/2018

BY
 [Signature]

CHECKED BY
 [Signature]

DATE
 18/08/2018

PROJECT NO
 18-001-0117-R

DRAWING NO
 18-001-0117-R-01

DATE
 18/08/2018



PRELIMINARY

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NORTH SHORE LIBRARIES
DEVONPORT LIBRARY
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DEVONPORT TAS 7310

COMPARISONS OF NEW AND EXISTING BUILDING HEIGHTS SHOWING MINIMUM HEIGHT INFRINGEMENTS

DATE: 11/03/2015
DRAWN: J. Smith
CHECKED: J. Smith
SCALE: A3/2

FOR DESIGNATION A3/2

Address: 11, O'Brien Street, Devonport TAS 7310
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**Devonport Library
Windsor Reserve (Triangle Reserve)**

Devonport

**Arboricultural overview of latest
redevelopment concept for the library**

Report commissioned by:	Chris Thomas Project Services North Shore City Council
Consultant:	Gerald Collett Treecare Services (Treescape Ltd)
Report dated:	12 May 2010. Rev V01F

**Devonport Library
Windsor Reserve (Triangle Reserve)**

Arboricultural overview of latest redevelopment concept for the library

1 Introduction

- 1.1 I have been engaged by Chris Thomas (Project Services, North Shore City Council) to provide an arboricultural overview of the latest redevelopment concept for the Devonport Library at Windsor Reserve (Triangle Reserve), Devonport.
- 1.2 In 2006 I prepared for Mr Thomas a review of two earlier re-development options for the library (report dated 19 September 2006). Aspects of the latest concept differ from the two earlier options.
- 1.3 The latest concept has been endorsed by Council, and Council's consultant planner (Gael McKitterick, Burton Consultants Ltd) is preparing a Notice of Requirement for the designation of the library site. This latest arboricultural review will accompany the Assessment of Environmental Effects forming part of the Notice of Requirement.
- 1.4 The existing library is flanked by a variety of trees. Those closest to the library comprise:
- An avenue of thirteen *Scheduled*¹ Phoenix palms.
 - A very large *Scheduled* Holm oak, identified in the District Plan as having been planted by Sir George Grey.
 - A very large *Scheduled* Moreton Bay Fig.
 - Several mature pohutukawa.
 - A mature London plane.
 - Several small/young cabbage trees and a shrub-sized *carmichaelia* (native broom).

All are protected under the various tree protection rules of the District Plan.

- 1.5 This report is based on feedback from architects Rose McShane and Brendon Rawson from *The Architecture Office* in relation to the following drawings:

Drawing Title	Sheet #	Rev	Dated
Land Affected By Notice Of Requirement	A100	B	01/04/2010
Earthworks Plan, Comparison Of Building Footprints And Development Plan	A101	D	10/05/2010
Tree Plan	A102	A	10/05/2010
Existing Floor Plan	A200/1	-	29/03/2010
Existing Elevations	A200/2	-	29/03/2010
New Ground Floor Plan	A201	C	10/05/2010
New Mezzanine Floor Plan	A202	A	09/04/2010
Section	A310	A	10/05/2010
Building Facades	A320	-	29/03/2010
New Elevations	A321	A	06/04/2010
Comparison Of New & Existing Building Heights . . .	A322	A	06/04/2010

¹ *Scheduled*: i.e. listed as notable trees in NSCC's *Schedule of Notable Trees* (Appendix 8C of the District Plan).

- 1.6 I visited the site in March 2010 with planner Gael McKitterick to discuss the latest development concept.
- 1.7 The trees are identified by number on the attached *Tree Location Plan* (copy of the Treecare mark-up of the site survey plan from the 2006 tree report), and are described in the attached *Tree List*. They are also marked on several of *The Architecture Office* drawings.

2 Summary of findings

In relation to the trees, the latest re-development concept and tree-issues can be summarised as follows:

Building Footprint

- 2.1 The concept building is essentially confined to the footprint of the existing building.

Open / Outdoor Reading Court

- 2.2 The latest concept includes an open (outdoor) reading court extending from the southeast face of the building (within the footprint of an existing informal metalled parking area).

- 2.2.1 The reading court lies beneath/beside a mature London plane, a small cabbage tree, and three mature pohutukawa (trees #2 to #6). Further to discussion with the architects, there is ample scope for the court and associated decking to be installed without compromising the trees.

- 2.2.2 When the time comes to produce the detailed design for the decking/court, the primary matters to address in relation to the trees and their rootzones are summarised as follows:

- Locating the deck post holes clear of principal roots, and carefully digging the post holes in a manner that avoids more-than-minor damage to roots large enough to warrant retention.
- Detailing the bearers/joists so they can be installed without lowering or digging into the ground. Note that the relationship between the finished floor level of the library and existing ground levels is such that a non-standard framing detail may be required.
- Detailing the decking and court/paving to allow on-going aeration of, and water percolation into, the underlying ground (rootzones).
- Setting the decking/court sufficiently clear of the trunks of the trees to accommodate future growth (and/or detailing the decking/court so that it can be progressively cut back from the trunks as the trunks increase in size over time).

Note that the decking/court may be locally displaced over time by root growth. This is one of the compromises that need to be accepted with such 'lightweight' structures/surfaces in a treed environment, and would need to be managed as a maintenance item.

- 2.2.3 With sensitive design and careful installation, the decking/court can be installed without compromising the trees, and would furnish a net improvement for the rootzone environment around the trees compared to the current use as a carpark.

Demolition of Existing Building

- 2.3 The existing building will be demolished, including the existing entry portico facing Victoria Rd.
- 2.3.1 The King Edward Parade frontage offers direct access to the site and building, with scope to position the demolition access clear of the principal trees (in particular, away from the existing carpark entry and overhanging pohutukawa trees and London plane).
- 2.3.2 I have assumed an insubstantial grouping of four young closely-planted cabbage trees (5-6m high) and a shrub-sized 3.5m *carmichaelia* in a small garden bed against the library wall (all referenced as group #7) would be removed for the demolition works and/or for the foundation works for the new building. Any adverse effects from the loss of the group #7 trees would be negligible; replacement planting could be undertaken if necessary.
- 2.3.3 With good site management the demolition works can be undertaken without compromising the remaining trees.

Earthworks Footprint

- 2.4 An earthworks plan is included in *The Architecture Office* drawings.
- 2.4.1 Around the northeast corner of the building (facing the Moreton Bay Fig and London plane), the plan shows earthworks for the new building extending 1.5m or so beyond the existing building footprint.
- 2.4.2 In addition to the earthworks shown in the earthworks plan, from an arboricultural perspective I have assumed that the works required to pull up the existing foundations and to form the new perimeter foundations will necessitate disturbance to the existing ground immediately adjacent to (i.e. confined to within 500mm of) the perimeter of the existing building.
- 2.4.3 Roots from the surrounding trees are likely to be encountered during the earthworks / foundation excavations, however the distances from the principal trees are sufficient that with care the works can be undertaken without compromising the trees. The demolition comments above regarding access and removal of the group #7 trees are similarly applicable to the earthworks.
- 2.4.4 Again, with good site management the demolition works can be undertaken without compromising the remaining trees.

Foundation Design

- 2.5 The foundations will need to cope with the direct and indirect root pressures expected in a heavily treed environment, in particular the issue of differential shrinkage of reactive clay

soils if relevant to this soil profile. This aspect will need to be vetted by an engineer during the detailed design.

Construction Access and Construction Methodology

- 2.6 Construction access and attendant construction methodologies are partially constrained by the surrounding trees, in particular around the northeast corner of the building (facing the Moreton Bay Fig) and along the southeast face of the building (beside the London plane and pohutukawa trees).
- 2.6.1 Liaison between architect and arborist will be required during the detailed design to ensure that the building is designed to be practicably buildable without unduly encroaching on the trees.
- Access for heavy machinery around the north and southeast sides of the building would for example be problematic (but not unmanageable).
 - A possible conflict with overhanging branches and crane operations springs to mind if for example panels (tilt slab, glazing, external cladding, and the like) needed to be craned into place among the flanking/overhanging trees.

Tree Removal

- 2.7 As noted above, I have assumed an insubstantial grouping of four young closely-planted cabbage trees (5-6m high) and a shrub-sized 3.5m carmichaelia in a small garden bed against the library wall (all referenced as group #7) would be removed for the demolition works and/or for the foundation works for the new building. Any adverse effects from the loss of the group #7 trees would be negligible; replacement planting could be undertaken if necessary.

Tree Pruning (and Roof Height)

- 2.8 The canopy of the Moreton Bay fig currently just reaches the closest corner of the existing library where a low (head-high) branch crosses the path at the northeast corner of the building. Several understorey limbs of the London plane and of pohutukawa trees #5 and #6 extend a metre or two across the existing roof, with low clearances above the roof as described in the *Tree List*.
- 2.8.1 The Moreton Bay fig will require very minor pruning of a few distal branches to maintain clearance from the building, and for example to accommodate scaffolding around the perimeter of the building during the construction works.
- 2.8.2 Beside the London plane and pohutukawa trees, the existing roof is about 5.7m above the ground. The new roof (parapet) will be about 8.5m above the ground (8.1m above the existing and proposed floor level – FFL 3.480).
- 2.8.3 Several very minor understorey branches will need to be removed from the London plane to clear the new building and parapet. Higher limbs extend above the roof, clear of the parapet.

- 2.8.4 The lowest limbs over the building on pohutukawa trees #5 and #6 are shown on the attached Sep 2006 Treecare mark-up of the site survey plan, plotted as limbs 5A, 6B, 6C, and 6D.

Limb 5A crosses the roof at about 9m above the ground, just above the height of the proposed parapet, but sufficiently close to the parapet that it will need to be removed. The other three cross the roof at 6.5m to 7.7m above the ground, and will need to be removed. Higher limbs extend above the roof, clear of the parapet.

Note that regardless of the proposed development, the lowest pohutukawa limbs above the existing building will progressively and naturally subside toward the building under their own weight (or become increasingly suppressed), to the extent that they would eventually need to be removed (again, regardless of the proposed development).

The pohutukawa limbs to be cut back / removed to clear the building/parapet are fairly large, but not unreasonably so, and the pruning could be executed without seriously disfiguring the trees or compromising their long term viability.

Leaf/Tree Litter

- 2.9 Large volumes of leaf/tree litter will be shed/blown onto the library roof, ranging from minute pohutukawa seed and ripe/rotting fruit from the Moreton Bay fig, through to large fig and London plane leaves (noting in particular that the London plane is deciduous).
- 2.9.1 This issue needs to be factored into the roof/gutter design, and the roof/gutter detailed/maintained accordingly.

Services, Stormwater Drains (including roofwater), and Sanitary Drains

- 2.10 Specific details of services, roofwater/stormwater drains, sanitary drains, and associated connections have not been drawn up at this stage.
- 2.10.1 Services and drains will need to be specifically designed in consultation with arborist, engineer, and architect, and detailed so they can be routed/installed without compromising the trees.

Paths

- 2.11 New pathways and/or alterations to some of the existing paths will presumably be required, but have not yet been detailed.
- 2.11.1 As with the services and drains, they will need to be subject to specific design in consultation with arborist, engineer, and architect, and detailed so that the trees are not compromised.

Landscaping

- 2.12 Again, no specific landscaping plan has been provided. Any proposed landscaping will need to be detailed in consultation with landscape designer and arborist to ensure the trees (and their rootzones) are not inadvertently compromised.

3 Conclusions

- 3.1 With care, the concept building can be pursued without compromising the principal trees.

I have assumed an insubstantial grouping of four young closely-planted cabbage trees (5-6m high) and a shrub-sized 3.5m carmichaelia in a small garden bed against the library wall (all referenced as group #7) would be removed for the demolition works and/or for the foundation works for the new building. Any adverse effects from the loss of the group #7 trees would be negligible; replacement planting could be undertaken if necessary.

- 3.2 Very minor pruning of the Moreton Bay fig and London plane will be required.

More substantial pruning of pohutukawa trees #5 and #6 will be required to clear the proposed building/parapet. The limbs to be cut back / removed are fairly large, but not unreasonably so, and the pruning could be executed without seriously disfiguring the trees or compromising their long term viability. Regardless of the proposed re-development, several of these limbs would eventually need to be cut back or removed due to their proximity to the existing building.

- 3.3 Various tree-related factors will need careful consideration and liaison with arborist, architect and engineer when preparing the detailed design, as flagged in the summary of findings above. A design-specific arboricultural assessment will be required, together with a tree protection procedure to be followed during the physical site works.



Gerald Collett
Senior Consultant (Arborist)
Treecare Services (Treescape Ltd)

12 May 2010

Attachment 1: *Tree List* (Rev01F dated 12 May 2010)

Attachment 2: *Tree Location Plan*

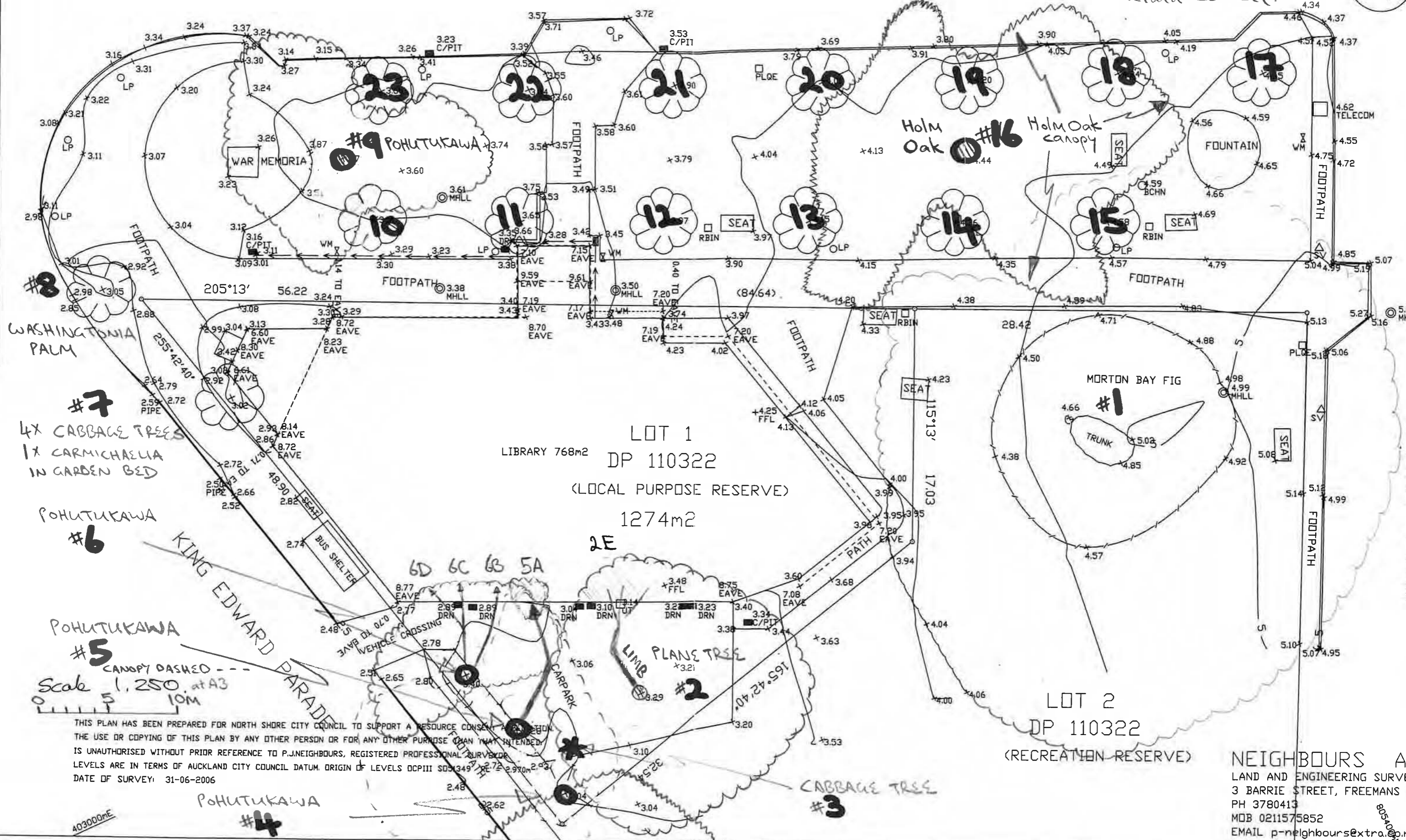
(Copy of the annotated Site Survey by Neighbours Associates dated 31-06-2006, taken from the Treecare Services Ltd library report dated 19 September 2006)

13 PHOENIX PALMS: #10-15 and #17-23.

Refer to Treccare Services Ltd report dated 19 Sep 2006 -
 Devonport Library - Arboricultural review of two redevelopment
 concepts.
 Gerald Collett.

VICTORIA STREET

VICTORIA STREET



#7
 4x CABBAGE TREES
 1x CARMICHAELIA
 IN GARDEN BED

Pohutukawa
 #6

Pohutukawa
 #5

Scale 1:250 at A3
 0 5 10m

THIS PLAN HAS BEEN PREPARED FOR NORTH SHORE CITY COUNCIL TO SUPPORT A RESOURCE CONSENT APPLICATION.
 THE USE OR COPYING OF THIS PLAN BY ANY OTHER PERSON OR FOR ANY OTHER PURPOSE THAN THAT INTENDED
 IS UNAUTHORISED WITHOUT PRIOR REFERENCE TO P. NEIGHBOURS, REGISTERED PROFESSIONAL SURVEYOR.
 LEVELS ARE IN TERMS OF AUCKLAND CITY COUNCIL DATUM. ORIGIN OF LEVELS DCPIII SD3349 RL 2.970m
 DATE OF SURVEY: 31-06-2006

Origin 805308.027 N 402997.479 E
 Scale 1:200 Rotation 64°52'32"

DEVONPORT LIBRARY

Surveyed by: P NEIGHBOURS
 Reference: 853

Computed by: PJN
 Description: SITE SURVEY

NEIGHBOURS A
 LAND AND ENGINEERING SURVEY
 3 BARRIE STREET, FREEMANS
 PH 3780413
 MOB 0211575852
 EMAIL p-neighbours@extra.co.nz

Windsor Reserve (Triangle Reserve), Devonport. Tree List for Devonport Library redevelopment concept (May 2010)

Note: Tree dimensions are taken from Treecare Services Ltd September 2006 report on two earlier redevelopment options unless otherwise indicated.

I.D. #	Tree name	Approx Height (m)	Girth (m)	Typical canopy spread (m)	Comments
1	Moreton Bay Fig <i>Ficus macrophylla</i> SCHEDULED TREE [listed under 'Victoria Rd' as item #32]	23	10.61 at 0.7m	41	41.7m spread parallel to Flagstaff Terrace. 40.4m spread parallel to Victoria Road. 10.61m girth measured around narrowest 'waist' of bole (0.7m a.g.l.). Equivalent to a trunk diameter of 3.4m. Southern spread of tree just reaches northeast corner of existing library.
2	London plane <i>Platanus x acerifolia</i>	21	2.97 at 1.2m	19	Extends 2-3m across roof of existing library. <ul style="list-style-type: none"> Lowest understorey branches above library (2E on the <i>Tree Location Plan</i>) run about 1.5m above existing roofline.
3	Cabbage tree <i>Cordyline australis</i>	7.5	0.27	1	Single-stemmed slender young tree next to wooden rail of carpark. (May 2010: 8.5m high; 0.29m girth)
4	Pohutukawa <i>Metrosideros excelsa</i>	17	1.58 + 1.95	9 x 18	One-sided spread to the east (away from Tree 5). Twin-stemmed from base, with the two trunks wrapped together.
5	Pohutukawa <i>Metrosideros excelsa</i>	17	2.08 + 2.05 + 1.25 + 1.67	17	Extends 1-2m across roof of existing library. <ul style="list-style-type: none"> Lowest limb above library (limb 5A on the <i>Tree Location Plan</i>) crosses the extg roof about 3.5m above the roofline (or about 9m above existing ground level), with a few lower twigs. Limb 5A originates from a wide-fork in the parent trunk about 7m a.g.l.

Windsor Reserve (Triangle Reserve), Devonport. Tree List for Devonport Library redevelopment concept (May 2010)

I.D. #	Tree name	Approx Height (m)	Girth (m)	Typical canopy spread (m)	Comments
6	Pohutukawa <i>Metrosideros excelsa</i>	13	2.07	8 x 15	<p>One-sided spread to the west (away from Tree 5). A former 550mm-diameter trunk and 250mm-diameter stem have long ago been removed from the base of the tree on its western face, as has a former 400mm-diameter northerly stem/limb at 1.7m a.g.l. All three wounds are rotting. Exposed surface roots on west edge of trunk are dead or partially dead. Several “diamond cankers” on the remaining stems and limbs. Canopy (foliage) health is good. Canopy extends 1-2m across roof of existing library.</p> <ul style="list-style-type: none"> • Understorey limb 6B (refer to the <i>Tree Location Plan</i>) crosses the extg roof about 1.4m (was 1.8m in Sep2006) above the roofline, or about 7.1m above existing ground level, with a few lower twigs. Limb 6B originates from parent trunk 2.5m a.g.l., with a diameter of about 250mm at its point of attachment. • Understorey limb 6C crosses the extg roof about 1.4m (was 1.6m in Sep2006) above the roofline, or about 7.1m above existing ground level, with a few lower twigs. 6C & 6D are forks of the same parent limb, originating from the trunk at a height similar to limb 6B. • Understorey limb 6D crosses the extg roof about 1.8m (was 2m in Sep2006) above the roofline, or about 7.5m above existing ground level, with a lower branch running about 0.8m (1m in Sep 2006) above the roof..
7	4x cabbage trees <i>Cordyline australis</i> 1x native broom <i>Carmichaelia spp</i>	5.5 3	0.37 shrub	1 - 1.5 2.5	<p>Four young closely-planted cabbage trees (tallest 5.5m, largest girth 0.37m) and a shrub-sized carmichaelia in a small garden bed against the library wall. (May 2010: Largest cabbage now 6m high, with girth of 0.38m. Broom now 3.5m.)</p>
8	Washingtonia palm <i>Washingtonia robusta</i>	13.5	1.53	3	Approx 10.5m to base of fronds.
9	Pohutukawa <i>Metrosideros excelsa</i>	13.5	3.9 at 0.5m	17 x 19	Bole of tree divides at about 1.5m a.g.l. into three similar-sized trunks with girths of approx 2.2m, 2.0m, and 1.8m. Girth of 3.9m around narrowest ‘waist’ of bole (0.5m a.g.l.).
10-15 and 17-23	13 Phoenix palms <i>Phoenix canariensis</i> SCHEDULED TREES [listed under ‘Victoria Rd’ as item #33]	See below	See below	See below	<i>Scheduled</i> avenue of 13 palms.

Windsor Reserve (Triangle Reserve), Devonport. Tree List for Devonport Library redevelopment concept (May 2010)

I.D. #	Tree name	Approx Height (m)	Girth (m)	Typical canopy spread (m)	Comments
10	Phoenix palm <i>Phoenix canariensis</i>	17.5	3.09	7+	Approx 17.5m to top of fronds. (Palm heights are to top of fronds).
11	Phoenix palm <i>Phoenix canariensis</i>	17.0	2.71	7+	
12	Phoenix palm <i>Phoenix canariensis</i>	18.5	2.42	7+	Girth measured at 1.5m rather than 1.4m (just above swelling at base of tree).
13	Phoenix palm <i>Phoenix canariensis</i>	17.5	2.40	7+	
14	Phoenix palm <i>Phoenix canariensis</i>	17 ?	3.17	7+	
15	Phoenix palm <i>Phoenix canariensis</i>	17 ?	2.75	7+	
16	Holm oak <i>Quercus ilex</i> SCHEDULED TREE [listed under 'Victoria Rd' as item #52]	25 ?	4.76	22 x 27	The District Plan <i>Schedule of Notable Trees</i> advises this tree was planted by Sir George Grey.
17-23	7x Phoenix palms <i>Phoenix canariensis</i>	-	-	-	Not individually recorded. Similar to the six Phoenix palms #10 to #15. All <i>Scheduled</i> as noted above.